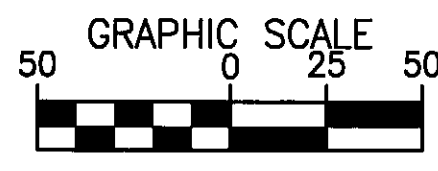


**NORTH**



1 INCH = 50 FT.  
(FULL SIZE DRAWINGS ONLY)

**LEGEND FOR SYMBOLS**

- XXX— PROP. 1' CONTOUR
- XXX— PROP. 5' CONTOUR
- XXX— EX. 1' CONTOUR
- XXX— EX. 5' CONTOUR
- OF— ORANGE CONSTRUCTION FENCE (LIMITS OF WORK/DISTURBANCE)
- Proposed SURFACE DRAINAGE
- F.G. FINISH GRADE (GARAGE FLOOR) ELEVATION
- B.F. BASEMENT FLOOR ELEVATION (BOTTOM OF FOOTING TYPICALLY 1 FOOT BELOW BASEMENT FLOOR)
- TREE CLEARING LIMITS
- W.O. WALK-OUT BASEMENT REAR BASEMENT WALL EXPOSED DUE TO GRADES
- EXP WALL
- PROPOSED HOUSE (SCHEMATIC ONLY) (ACTUAL HOUSE SIZE MAY VARY)

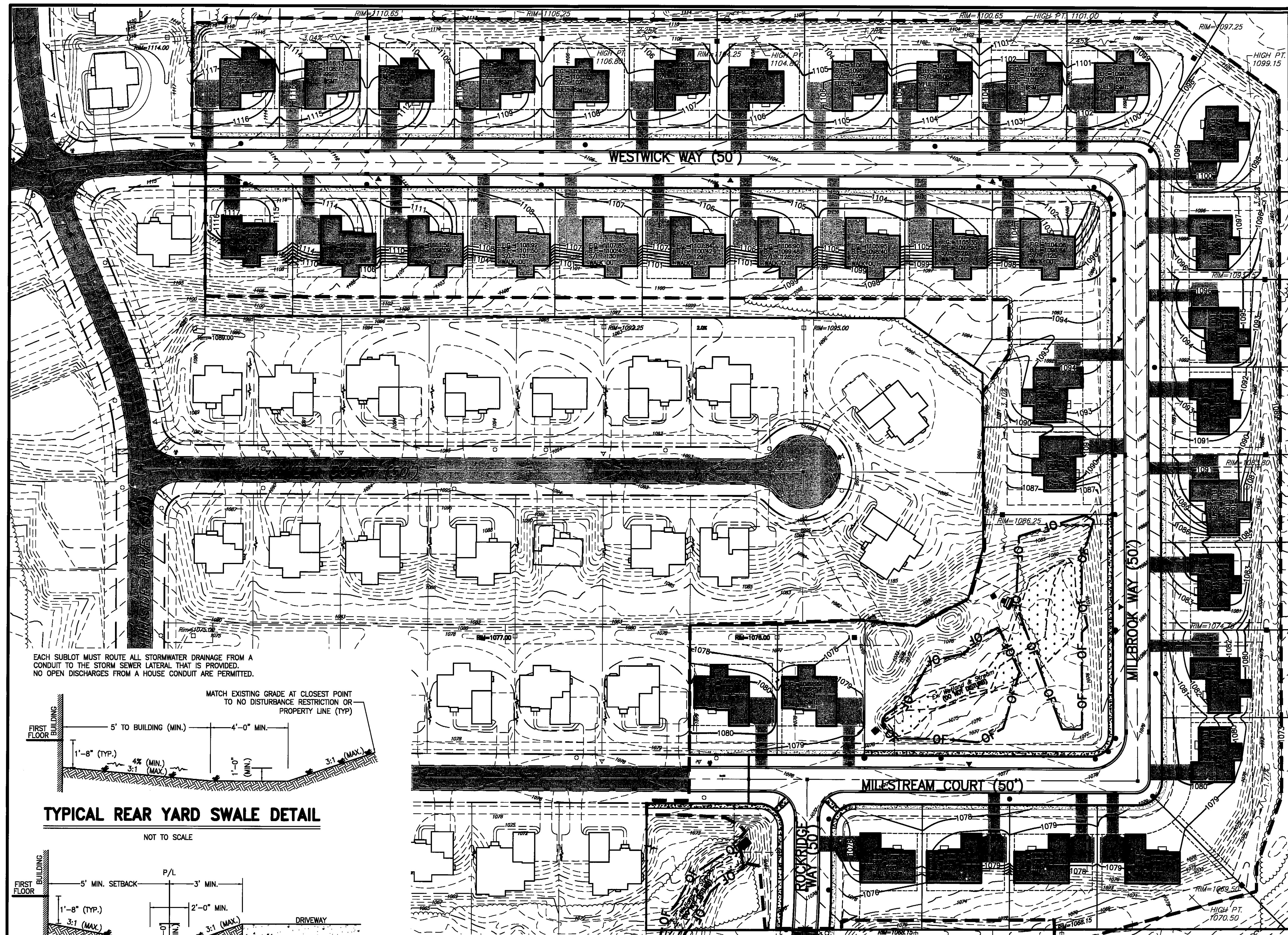
SEE NOTES ON SHEET C3.0

CONTOURS IN ROADWAY AREAS ARE TOP OF PROPOSED PAVEMENT. CONTRACTOR SHALL PREPARE THE ROADWAY AREAS TO SUBGRADE OF PROPOSED PAVEMENT.

ALL SUBLOTS SHALL TIE ALL DRAINS (DOWNSPOUTS, FOOTER, ETC...) INTO THE STORM SEWER LATERALS THAT ARE PROVIDED IN THE FRONT YARDS OF EACH SUBLot. DRAINS SHALL NOT BE DISCHARGED OFF THE REAR/SIDE YARDS.

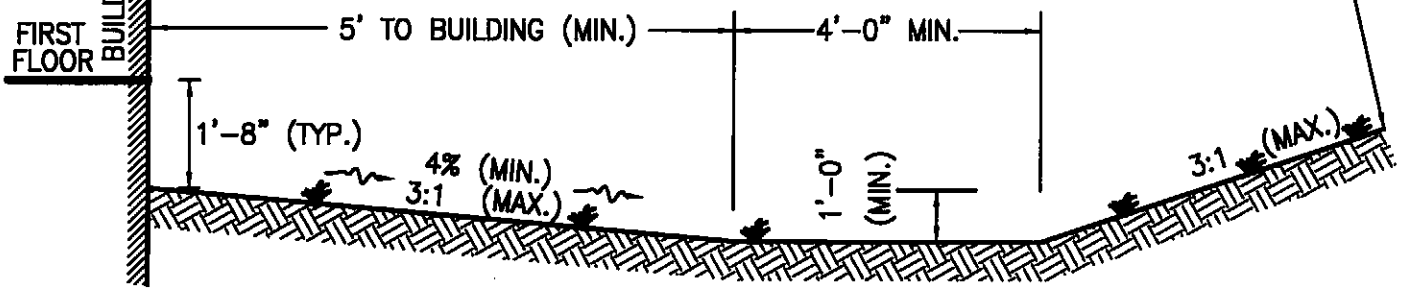
**HOUSE SCHEDULE**

S/L	BASEMENT TYPE	SUMP PUMP REQ'D	DRIVE SLOPE
98	FULL BSMT.	NO	6.5%
99	FULL BSMT.	NO	6.5%
100	FULL BSMT.	NO	6.5%
101	FULL BSMT.	NO	6.5%
102	FULL BSMT.	NO	6.5%
103	FULL BSMT.	NO	6.5%
104	FULL BSMT.	NO	6.5%
105	FULL BSMT.	NO	6.5%
106	FULL BSMT.	NO	6.5%
107	FULL BSMT.	NO	6.5%
108	FULL BSMT.	YES	6.5%
109	FULL BSMT.	YES	6.5%
110	FULL BSMT.	NO	6.5%
111	FULL BSMT.	NO	6.5%
112	FULL BSMT.	NO	6.5%
113	FULL BSMT.	NO	6.2%
114	FULL BSMT.	NO	6.5%
115	FULL BSMT.	NO	6.5%
116	FULL BSMT.	NO	6.5%
117	WALK OUT	NO	3.125%
118	EXP. WALL	NO	3.125%
119	EXP. WALL	NO	6.5%
120	FULL BSMT.	NO	6.5%
121	FULL BSMT.	NO	6.5%
122	FULL BSMT.	NO	6.5%
123	FULL BSMT.	NO	3.125%
124	FULL BSMT.	NO	3.125%
125	WALK OUT	NO	6.5%
126	WALK OUT	NO	6.5%
127	WALK OUT	NO	6.5%
128	WALK OUT	NO	6.5%
129	WALK OUT	NO	6.5%
130	WALK OUT	NO	3.125%
131	WALK OUT	NO	3.125%
132	WALK OUT	NO	3.125%
133	WALK OUT	NO	3.125%
134	WALK OUT	NO	6.5%



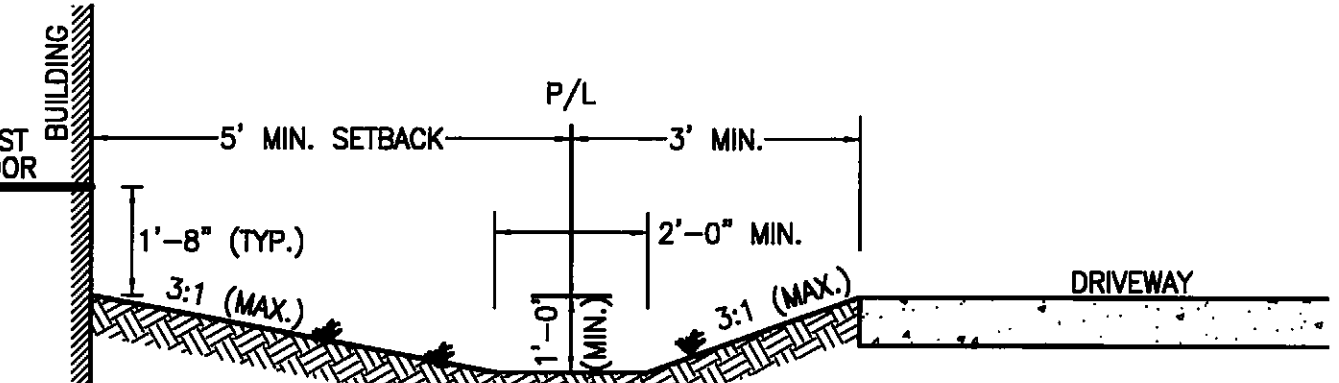
EACH SUBLot MUST ROUTE ALL STORMWATER DRAINAGE FROM A CONDUIT TO THE STORM SEWER LATERAL THAT IS PROVIDED. NO OPEN DISCHARGES FROM A HOUSE CONDUIT ARE PERMITTED.

MATCH EXISTING GRADE AT CLOSEST POINT TO NO DISTURBANCE RESTRICTION OR PROPERTY LINE (TYP)



**TYPICAL REAR YARD SWALE DETAIL**

NOT TO SCALE



**TYPICAL SIDE YARD SWALE DETAIL**

NOT TO SCALE

JOB NO	12269F	SCALE	1"=50'
DRAWN BY	MJD	CHK'D BY	CJO
DWG NAME	12269C-1g	DATE	SEPTEMBER, 2014

**HILLSIDE ESTATES - PHASE 4**  
**SITE FINAL GRADING PLAN**  
 TOWNSHIP OF COPLEY, COUNTY OF SUMMIT, STATE OF OHIO

**NEFF & ASSOCIATES**  
 Civil Engineers • Landscape Architects • Planners • Surveyors  
 6405 York Road | Parma Heights, Ohio 44130  
 Tel: 440.884.3100 | Fax: 440.884.3104  
 www.neff-assoc.com

REV NO	DATE	DESCRIPTION	BY
3	02/27/15	REV. PER COSE & SUMMIT SWCD	CJO
2	11/17/14	REV. PER COSE, DOES, AKRON WTR.	CJO
1	09/15/14	ORIGINAL SUBMITTAL	CJO

**SHEET NO.**  
**C3.1**